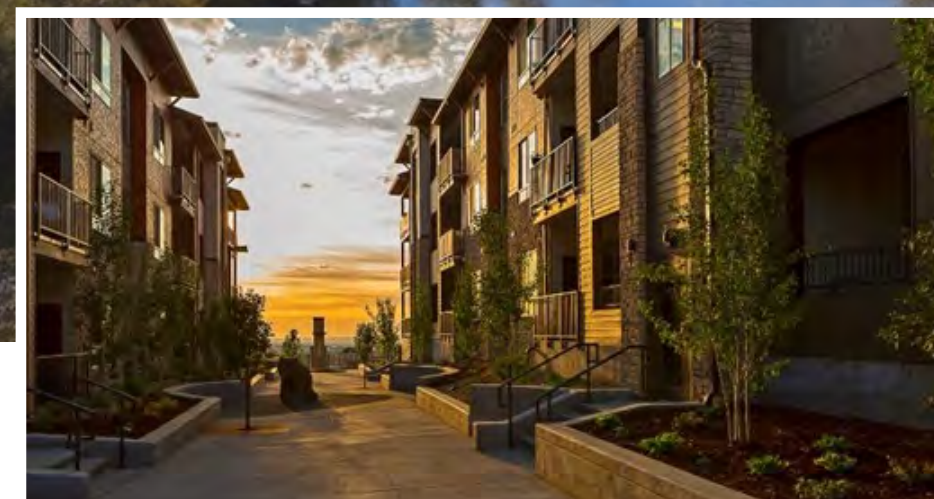


Second Amendment to Santa Fe Park Planned Development Plan (RiverPark)

A parcel of land located in the Northwest Quarter of Section 32, Township 5 South, Case # APD18-0004 Range 68 West of the Sixth Principal Meridian, City of Littleton, County of Arapahoe, State of Colorado



Distinctly Littleton:
Building community by creating
a vibrant marketplace for gathering
and distinctive places to live



Acknowledgements

OWNER:

EVERGREEN-MINERAL & SANTA FE, L.L.C. an Arizona limited liability company
By: Evergreen Development Company-2017, L.L.C., an Arizona limited liability company, its Manager
By: Evergreen Devco, Inc., A California corporation, its Manager

Name: _____
Its: _____

I, _____, owner, do hereby agree that the above described property will be developed in accordance with the uses, restrictions, and conditions contained in this Vesting Plan. I understand that failure to abide by the terms and conditions of this Vesting Plan shall result in the forfeiture of any development rights which may be vested by virtue of the approval of this Plan.

Signature of Owner

Subscribed and sworn before me this _____ date of _____, 20____. Witness my hand and official seal. My Commission expires _____ Notary Public

APPROVAL OF THIS PLAN MAY CREATE A VESTED PROPERTY RIGHT PURSUANT TO ARTICLE 68 OF TITLE 24, COLORADO REVISED STATUTES.

APPROVED AS TO FORM:

City Attorney

Approved this _____ day of _____, 20____, by the Littleton City Council.

President

ATTEST:

City Clerk

This document was filed for record in the office of the County Clerk and Recorder of _____ County at _____ m. on the _____ day of _____ A.D., 20____, in Book _____ Map _____ Reception No. _____

County Clerk and Recorder

By: _____

Deputy Clerk and Recorder

ACKNOWLEDGEMENT:

STATE OF COLORADO)) SS.

COUNTY OF _____)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____, BY _____, AS _____.

WITNESS MY HAND AND OFFICIAL SEAL. _____

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

CITY PLANNING COMMISSION:

APPROVED THIS _____ DAY OF _____, 20____, BY THE LITTLETON PLANNING COMMISSION.

_____ CHAIR

CITY COUNCIL:

APPROVED THIS _____ DAY OF _____, 20____, BY THE LITTLETON CITY COUNCIL.

LITTLETON MAYOR

ATTEST: CITY CLERK

LITTLETON CITY ATTORNEY APPROVAL:

APPROVED AS TO FORM THIS _____ DAY OF _____, 20____.

LITTLETON CITY ATTORNEY

CLERK AND RECORDER'S CERTIFICATE:

THIS DOCUMENT WAS FILED FOR RECORDS IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF _____ COUNTY AT _____ M. ON THE _____ DAY OF _____ A.D., 20____.

IN BOOK _____, PAGE _____, MAP _____, RECEPTION NO. _____
_____ COUNTY CLERK AND RECORDER

BY: _____ DEPUTY

Legal Descriptions

Overall Property Area:

PARCEL 1,
E-016.11, SANTA FE PARK NORTH SUBDIVISION EXEMPTION RECORDED AT RECEPTION NO. D7141437, COUNTY OF ARAPAHOE, STATE OF COLORADO
TWO PARCELS OF LAND COMPRISING ALL OF PARCEL 1, SANTA FE PARK NORTH SUBDIVISION EXEMPTION, RECORDED AT RECEPTION NO. D7141473 OF THE RECORDS OF THE ARAPAHOE COUNTY CLERK AND RECORDER, SITUATED IN THE NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 5 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF LITTLETON, COUNTY OF ARAPAHOE, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

Harvest Planning Area:

COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 32;
THENCE SOUTH 64°13'51" WEST, A DISTANCE OF 748.20 FEET TO A POINT ON THE SOUTH LINE OF WEST MINERAL AVENUE AND THE POINT OF BEGINNING;
THENCE SOUTH 20°20'20" WEST, A DISTANCE OF 229.50 FEET TO A POINT OF CURVATURE
THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 62.83 FEET, SAID CURVE HAVING A RADIUS OF 360.00 FEET, A CENTRAL ANGLE OF 10°00'00", AND A CHORD WHICH BEARS SOUTH 15°20'20" WEST A CHORD DISTANCE OF 62.75 FEET;
THENCE SOUTH 10°20'20" WEST, A DISTANCE OF 156.08 FEET TO A POINT OF CURVATURE;
THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 62.83 FEET, SAID CURVE HAVING A RADIUS OF 360.00 FEET, A CENTRAL ANGLE OF 10°00'00", AND A CHORD WHICH BEARS SOUTH 15°20'20" WEST A CHORD DISTANCE OF 62.75 FEET;
THENCE SOUTH 20°20'20" WEST, A DISTANCE OF 1104.06 FEET TO A POINT ON THE SOUTH LINE OF SAID PARCEL 1;
THENCE ALONG THE PERIMETER OF SAID PARCEL 1 THE FOLLOWING SEVEN (7) COURSES:
1) SOUTH 89°39'28" WEST ALONG SAID SOUTH LINE, A DISTANCE OF 123.46 FEET;
2) NORTH 00°16'35" EAST, A DISTANCE OF 189.77 FEET;
3) NORTH 27°39'51" EAST, A DISTANCE OF 272.39 FEET;
4) NORTH 02°37'05" WEST, A DISTANCE OF 401.93 FEET;
5) NORTH 28°04'01" WEST, A DISTANCE OF 451.10 FEET;
6) NORTH 42°00'11" EAST, A DISTANCE OF 578.80 FEET TO A POINT ON THE SOUTH LINE OF SAID MINERAL AVENUE;
7) SOUTH 69°39'40" EAST ALONG SAID SOUTH LINE, A DISTANCE OF 388.29 FEET TO THE POINT OF BEGINNING;
SAID PARCEL CONTAINS 887,350 SQUARE FEET OR 20.37 ACRES, MORE OR LESS.

River Planning Area (Area B):

COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 32;
THENCE SOUTH 64°13'51" WEST, A DISTANCE OF 748.20 FEET TO A POINT ON THE SOUTH LINE OF MINERAL AVENUE AND THE POINT OF BEGINNING;
THENCE SOUTH 69°39'40" EAST ALONG SAID SOUTH LINE, A DISTANCE OF 541.96 FEET TO THE WEST LINE OF SANTA FE DRIVE;
THENCE ALONG SAID WEST LINE THE FOLLOWING THREE (3) COURSES:
1) SOUTH 06°15'04" WEST, A DISTANCE OF 134.04 FEET;
2) SOUTH 13°24'58" WEST, A DISTANCE OF 590.30 FEET;
3) SOUTH 21°30'04" WEST, A DISTANCE OF 672.17 FEET TO THE SOUTHEAST CORNER OF SAID PARCEL 1;
THENCE SOUTH 89°39'28" WEST ALONG THE SOUTH LINE OF SAID PARCEL 1, A DISTANCE OF 634.98 FEET;
THENCE NORTH 20°20'20" EAST, A DISTANCE OF 1104.06 FEET TO A POINT OF CURVATURE;
THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 62.83 FEET, SAID CURVE HAVING A RADIUS OF 360.00 FEET, A CENTRAL ANGLE OF 10°00'00", AND A CHORD WHICH BEARS NORTH 15°20'20" EAST A CHORD DISTANCE OF 62.75 FEET;
THENCE NORTH 10°20'20" EAST, A DISTANCE OF 156.08 FEET TO A POINT OF CURVATURE;
THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 62.83 FEET, SAID CURVE HAVING A RADIUS OF 360.00 FEET, A CENTRAL ANGLE OF 10°00'00", AND A CHORD WHICH BEARS NORTH 15°20'20" EAST A CHORD DISTANCE OF 62.75 FEET;
THENCE NORTH 20°20'20" EAST, A DISTANCE OF 229.50 FEET TO THE POINT OF BEGINNING;
SAID PARCEL CONTAINS 564,890 SQUARE FEET OR 12.97 ACRES, MORE OR LESS

General Notes

This General Planned Development Plan seeks to modify the Santa Fe Park General Development Plan approved in 1985 to create the zoning requirements needed for a commercially-oriented mixed-use development within proximity of light rail. It modifies a 33.34 acre portion of the existing Santa Fe Park GPD by:

- Amending land uses to locate less intense residential uses along South Platte River corridor to protect ecologically sensitive areas;
- Orient commercial, office and senior housing uses along the South Santa Fe Drive corridor adjacent to Mineral Station;
- Preserve visual assets by establishing building height restrictions based upon building use;
- The RiverPark Design Standards supplement the requirements and rights of this Amended PDP.
- The second amendment to Santa Fe Park Planned Development Plan completely supersedes previous planned development plans on the subject properties described in the legal descriptions.
- Any element of construction or land development not specifically described in written or graphic form within this planned development plan amendment shall conform to Littleton City Code regulations associated with the B-2 zoning district in the case of areas designated as PD-C, or R-5 zoning district in case of areas designated as PD-R, as such codes may be amended from time to time.
- Promote a pedestrian oriented development by modifying interior street standards and building setbacks.
- Reduce the visual and environmental impact of surface parking through the use of shared parking.

Additional Notes:

- As part of the Subdivision Improvement Agreement, criteria for concurrent commercial development must be integrated into the agreement based on the following criteria:
 - No certificate of occupancy shall be issued for multifamily buildings until certificates of occupancy are issued for not fewer than 6,000 gross square feet of taxable commercial retail space and an assisted living facility, or 15,000 gross square feet of taxable commercial retail space without an assisted living facility;
 - If a Public Improvement Fee (PIF) is included with a city share back for personal services, the required taxable commercial retail space may be altered pending a new economic analysis.
- Allowance of the use of city property for storm-water facilities is contingent upon council approval through a separate agreement.
- A future site development plan will provide within the River District a designated area for dog exercise and recreation.

Contacts

Developer/Landowner

Evergreen-Mineral & Santa Fe, L.L.C.
1873 S. Bellaire St. Suite 1200
Denver, CO 80222
Tyler Carlson (303) 757-0462

Entitlements Architect

The Mulhern Group,
Ltd. 1400 Glenarm, Suite 300
Denver, CO. 80202
Gary Ellermann (303)-297-3334

Civil Engineer

Harris Kocher Smith 1120 Lincoln St.
Suite 1000 Denver, CO. 80203
Michael Moore, PE. (303) 623-6300

Landscape Architect

Norris Design 1101 Bannock Street
Denver CO, 80204
Jared Carlon (303) 668-7941

Sheet Index

- Sheet 1: Introduction
- Sheet 2: Concept Plan
- Sheet 3: Illustrative Plan
- Sheet 4: Comprehensive Sign Plan
- Sheet 5: Sign Details
- Sheet 6: Streetscapes
- Sheet 7: Design Standards
- Sheet 8: Design Standards
- Sheet 9: Existing Conditions/Utilities

Second Amendment to Santa Fe Park Planned Development Plan (RiverPark)

A parcel of land located in the Northwest Quarter of Section 32, Township 5 South, Case # APD18-0004 Range 68 West of the Sixth Principal Meridian, City of Littleton, County of Arapahoe, State of Colorado



Gathering Spaces



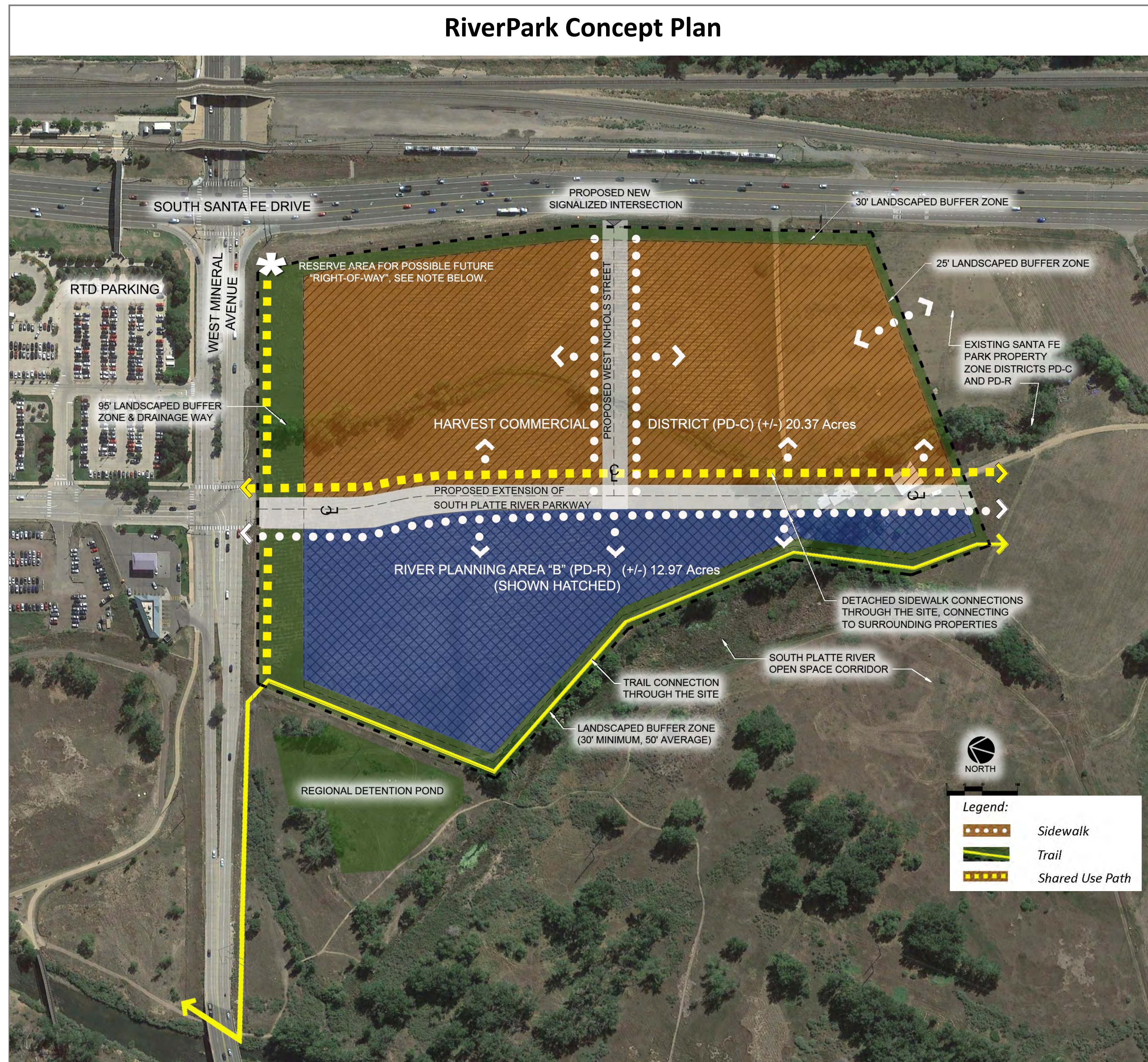
Pedestrian-Friendly



Sidewalk Amenities



Multi-Family Residential



South Platte Park



South Platte River



Mary Carter Greenway Trail



Existing Connection to Regional Trail

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Public Gathering Area



Public Gathering Area



Private Gathering Area



Private Gathering Area



[†] This Illustrative Plan is conceptual in nature and as such is only one possible build-out scenario. This Illustrative Plan does not imply nor obligate a specific plan or uses.

* Reserve Area for possible future "Right-of-Way".

** Reserve Area for potential future grade-separated crossing.

RiverPark:

Creating a dynamic mixed-use neighborhood that includes a balance of retail, restaurants, services and living spaces and provides the City of Littleton with a vibrant economic base and diverse housing opportunities that integrate pedestrian amenities, gathering spaces and modal transportation.



Plan Attributes

Harvest District

- Wide sidewalks to accommodate pedestrian activities
- Variety of uses fronting South Santa Fe Drive
- Continuation of street network to/from surrounding properties
- Convenient & efficient vehicular access & circulation

River District

- Large buffer adjacent to South Platte Park
- Regional trail connection along the west property line
- Private gathering areas including a pool & amenities

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RiverPark Site Signage

Site signage at RiverPark is designed to establish the RiverPark brand, guide customers through the project and identify and advertise its commercial end users.

Comprehensive Sign Plan



Sign designs are conceptual and subject to further development

Encouraging Creative Design Expressions through Sign Design

	<p>SITE SIGN TYPE A <i>Gateway Sign</i> 8'-0" High Max 350 SF Max</p>	 <p><i>(Example Sign)</i></p>
	<p>SITE SIGN TYPE B <i>Tenant ID and Monument Sign</i> 25'-0" High Max 200 SF Max</p>	 <p><i>(Example Sign)</i></p>
	<p>SITE SIGN TYPE C <i>Wayfinding Sign</i> 8'-0" High Max 24 SF Max</p>	

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RiverPark Building Sign Types

A wide variety of signage types and expressions are encouraged at RiverPark to facilitate commerce and enliven the public realm, including:

Wall Signs · Projecting Blade Signs · Canopy Signs · Arcade Signs · Awning Signs · Window Signs

Sign Type A: Wall Signs



Wall Signs may use a variety of design themes to “brand” a use and may project above a roofline to add architectural interest

Sign Type C: Canopy Signs



Canopy Signs may be perched on top of, on the face of or from below projecting canopies

Sign Type E: Awning Signs



Awning Signs provide architectural relief, color, color and detail to the pedestrian experience

RESTRICTIONS AND DETAILS FOR ALL SIGNAGE IS IDENTIFIED IN THE RIVERPARK DESIGN STANDARDS

Sign Type B: Projecting/Blade Signs



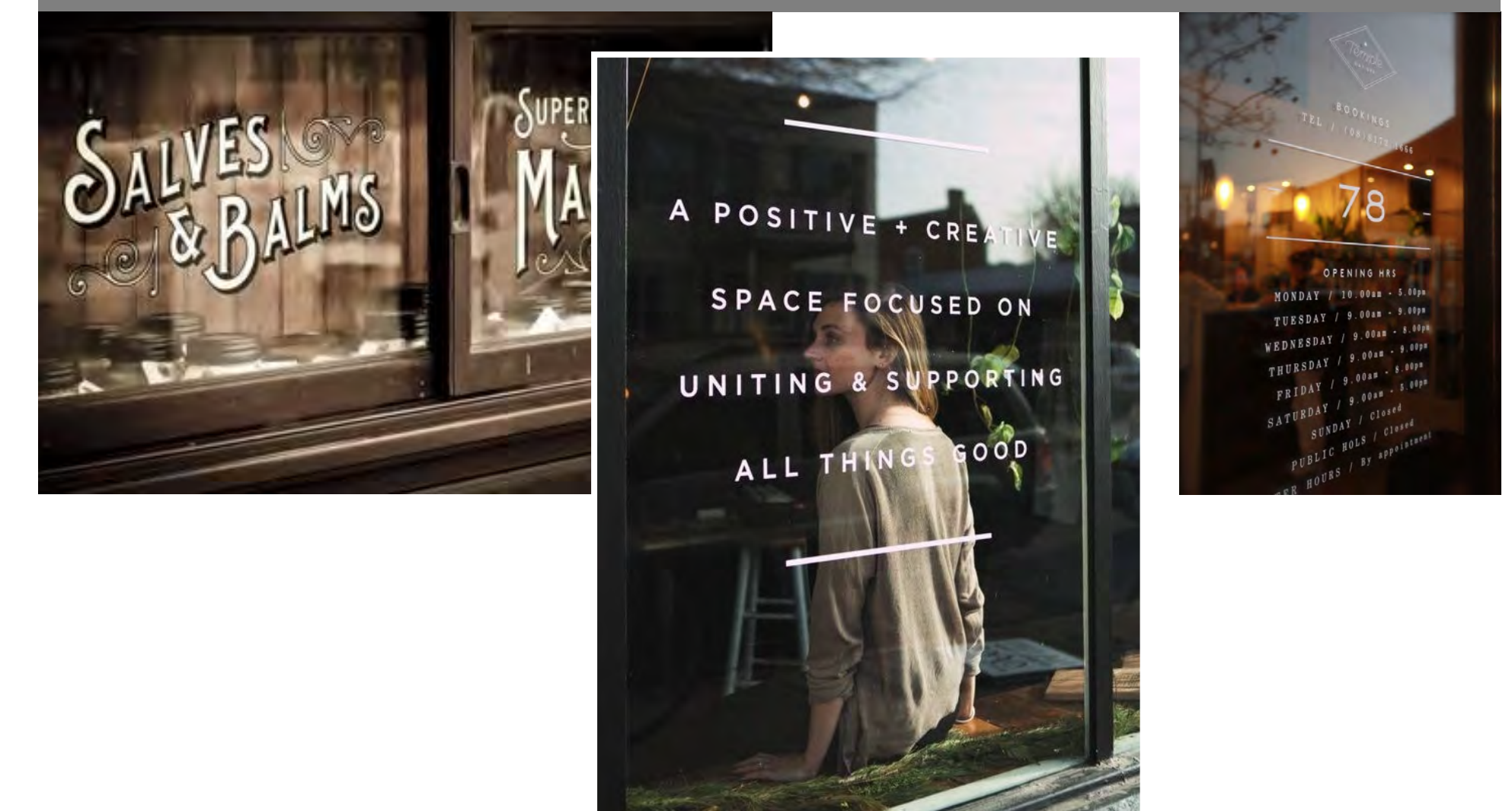
Projecting Blade Signs may take a variety of shapes and sizes appropriate to add variety

Sign Type D: Arcade Signs



Arcade Signs provide tenant identification when walking parallel with a building to define entrances

Sign Type F: Window Signs



Window Signs provide details, branding and information at eye level for pedestrians

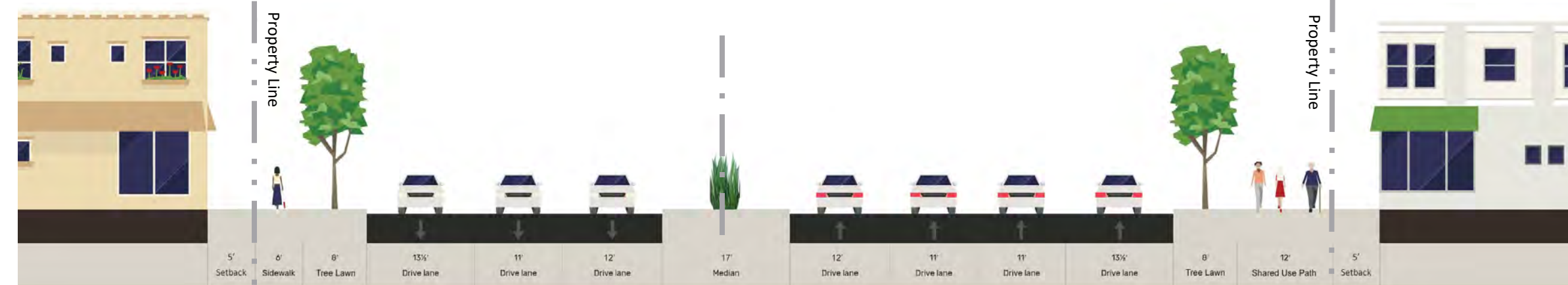
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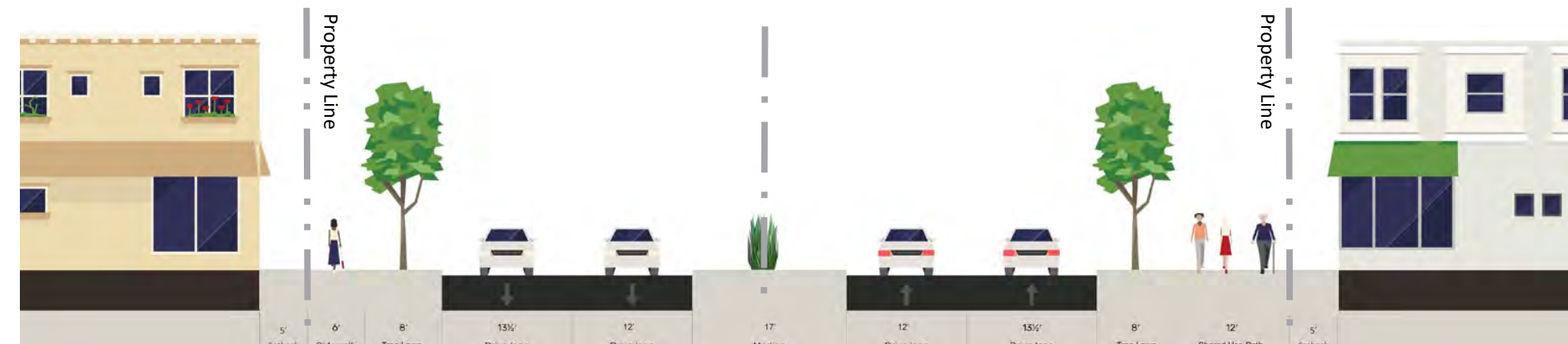
Notes: Actual R.O.W. and lane assignments to be updated based on approved traffic study and dedicated by final plat. Buffers at box culvert to have large cobbles.



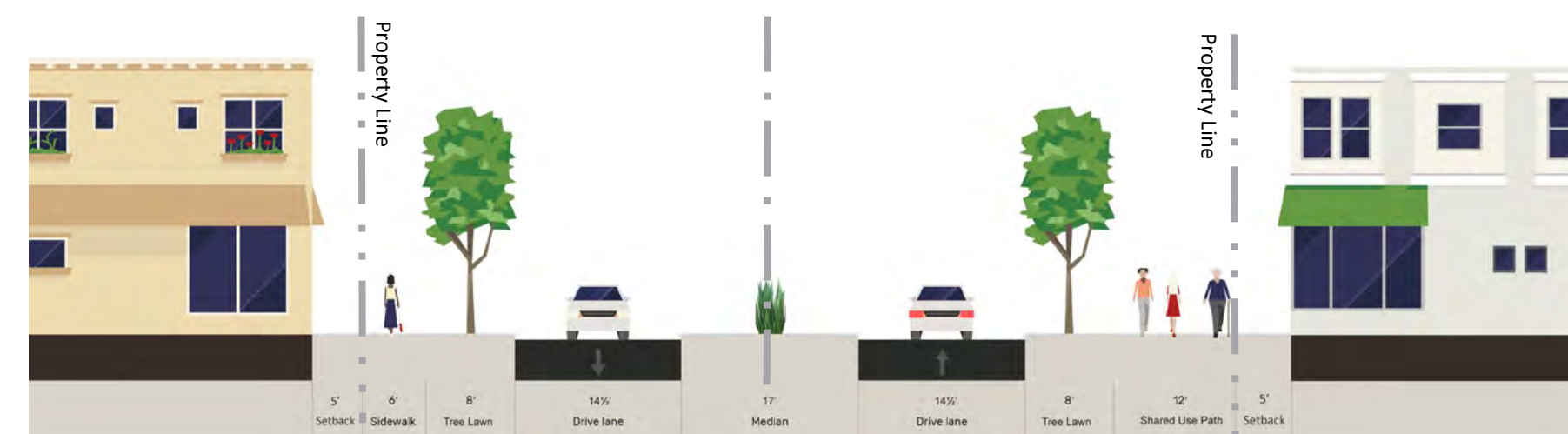
Section of South Platte River Parkway, South of Mineral, North of Box Culvert, Looking North



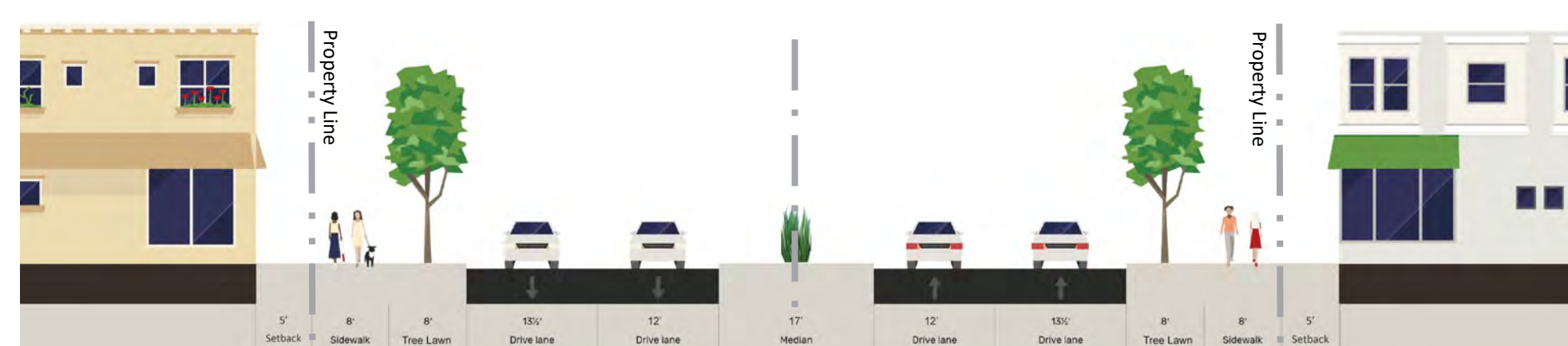
Section of South Platte River Parkway, South of Mineral, South of Box Culvert, Looking North



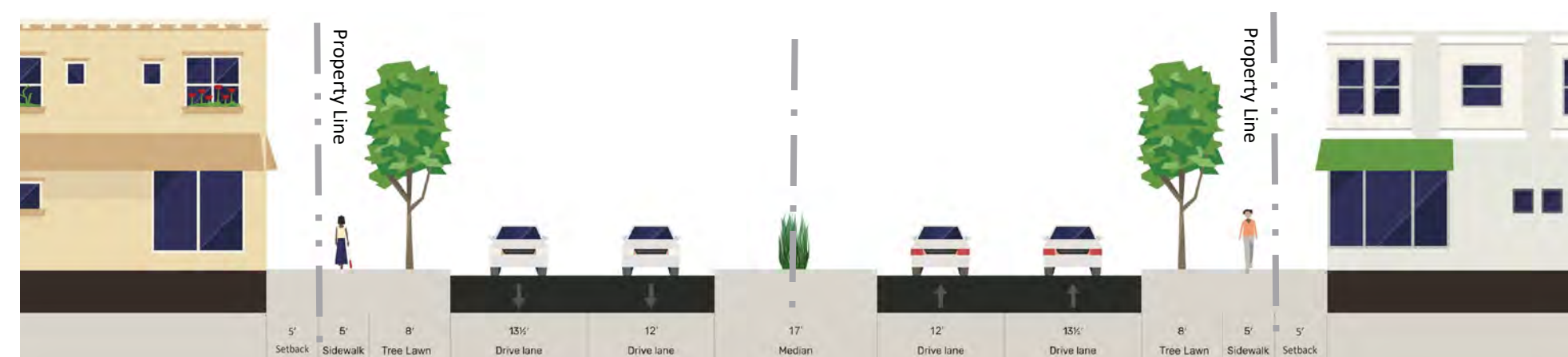
Section on South Platte River Parkway, North of West Nichols Street, Looking North



Section of South Platte River Parkway, South of West Nichols Street, Looking North



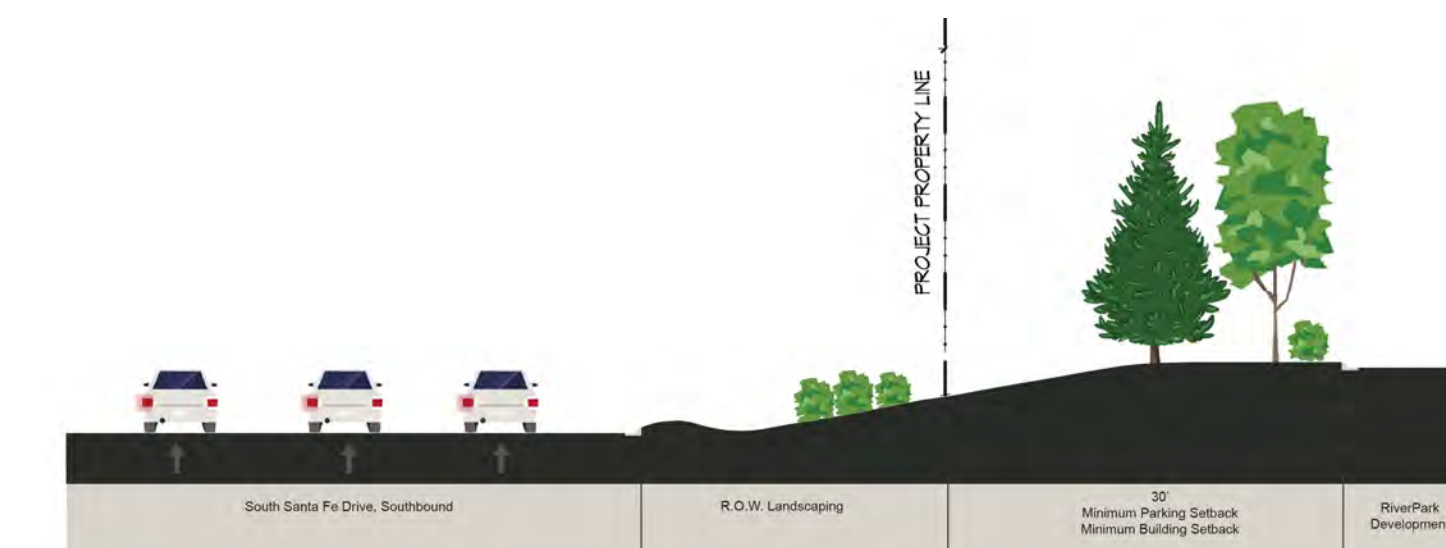
Section of West Nichols Street, East of South Platte River Parkway to Private Access Drive, Looking East



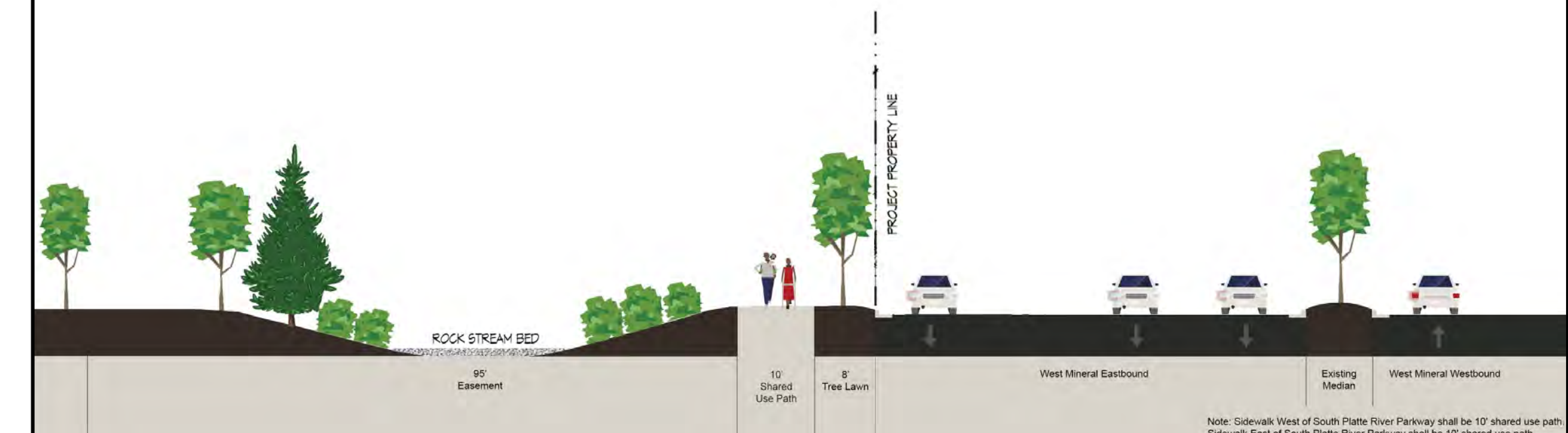
Section of West Nichols Street, East of Private Access Drive to South Santa Fe Drive, Looking East



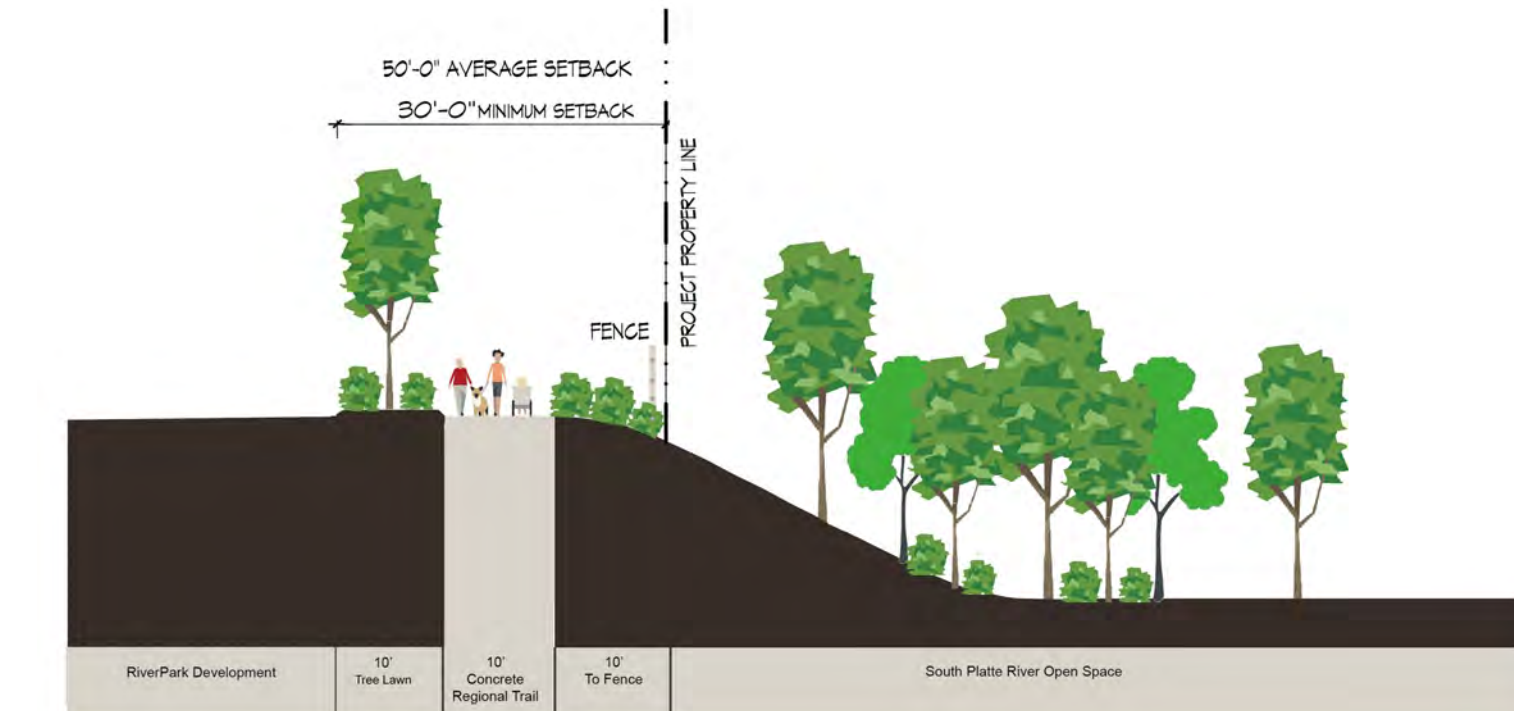
Streets and buffers have been carefully designed to address multi modal transportation demands while maintaining the pedestrian experience and adequately buffering RiverPark from its surroundings.



South Santa Fe Drive Section, Looking South



Mineral Avenue Channel Section, Looking West



West Property Line Section, Looking South

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Uses

Harvest District	River District		
Use Area The Harvest District is generally located between South Santa Fe Drive and South Platte River Parkway and is envisioned as a primarily commercial, revenue-generating district with limited residential uses.	Use Area The River District is generally located west of South Platte River Parkway and is envisioned as a predominantly residential district with limited commercial uses.		
Allowed Uses All uses are either "Permitted, Accessory to, Temporary or Prohibited" as identified below.	Allowed Uses All uses are either "Permitted, Accessory to, Temporary or Prohibited" as identified below.		
General Definition of Uses in Harvest District The Harvest District allows a wide variety of Permitted commercial uses including, but not limited to: banks and financial services, retail, office, medical office (such as doctor, dental offices, eye care and other out-patient facilities), personal services (such as salons, spas, and workout facilities), restaurants, bars and other similar commercial uses as listed below. The City of Littleton has the authority to allow uses similar in character or complementary to the uses described in this paragraph and as further stipulated below. Accessory and Temporary uses normally associated with the principal uses described in this paragraph are also Permitted pursuant to all applicable Littleton City Code definitions and requirements. There are some uses which are incompatible with the pedestrian-oriented, high-quality character of the Harvest District and are Prohibited as either principal or accessory uses in the district as defined below.	General Definition of Uses in River District The River District allows a wide variety of Permitted residential and limited commercial uses, including apartments, townhouses, multi-family residences and independent living facilities and associated commercial uses as listed below. The City of Littleton has the authority to allow uses similar in character or complementary to the uses described in this paragraph and as further stipulated below. Accessory and Temporary uses normally associated with the principal uses described in this paragraph are also Permitted pursuant to all applicable Littleton City Code definitions and requirements. There are some uses which are incompatible with the pedestrian-oriented, high-quality character of the River District and are Prohibited as either principal or accessory uses in the district as defined below.		
Legend			
Accessory	Permitted as an Accessory Use pursuant to this Amended Planned Unit Development		
Permitted	Use Permitted by Right		
Prohibited	Specifically Prohibited pursuant to this Amended Planned Unit Development		
Temporary	Permitted as a Temporary Use pursuant to this Amended Planned Unit Development		
Use	Harvest District River District Notes & Clarifications		
Raising of Crops			
1 Plant and tree nurseries	Permitted (See Note)	Permitted (See Note)	Permitted on a per lot basis until an approved Site Development Plan begins construction
2 Raising of crops (for sale, resale or consumption by occupants of premises)	Permitted (See Note)	Permitted (See Note)	Permitted on a per lot basis until an approved Site Development Plan begins construction
3 Raising of crops (limited to the use and consumption by occupants of the premises)	Permitted (See Note)	Permitted (See Note)	Permitted on a per lot basis until an approved Site Development Plan begins construction
Services and Enterprises Related to Animals			
Veterinarian/animal hospital			
4 Treatment and boarding of large animals (such as horses, cattle and other farm animals) and small animals outside enclosed structure	Prohibited	Prohibited	
5 Treatment and boarding of small animals within enclosed structure	Permitted	Prohibited	
6 Treatment of small animals and boarding only for treatment purposes	Permitted	Prohibited	
7 Outpatient treatment of small animals	Permitted	Prohibited	
8 Raising of livestock (other than horses) or fish (not including fur-bearing animals raised for pelts, hog ranches, commercial feedlots, agricultural processing industry or farms for the disposal of garbage or other waste)	Permitted (See Note)	Permitted (See Note)	Permitted on a per lot basis until an approved Site Development Plan begins construction
9 Raising of horses	Permitted (See Note)	Permitted (See Note)	Permitted on a per lot basis until an approved Site Development Plan begins construction
10 Commercial stables, riding academies, horse training and breeding	Prohibited	Prohibited	
11 Kennels and pet animal boarding and raising	Permitted (See Note)	Prohibited	Indoor boarding w/ancillary outdoor area allowed.
12 Animal boarding and care facility	Permitted (See Note)	Prohibited	Indoor boarding w/ancillary outdoor area allowed.
13 Beekeeping	Accessory	Accessory	
14 Chickens	Prohibited	Prohibited	
15 Pigeon keeping	Prohibited	Prohibited	
Residential			
16 Single Family Detached	Prohibited	Prohibited	
17 Two/Three family residence	Prohibited	Permitted	
Multi-family residence (4 or more units)			Permitted above the first floor only in Harvest District.
18 Townhouse	Prohibited	Permitted	
19 Apartments	Permitted (See Note)	Permitted	Living units are permitted only above the ground floor in vertically mixed-use buildings in the Harvest District; however, uses accessory to living units (lobby, clubhouse, leasing office, storage, etc.) are permitted on the ground floor up to 25% of the first floor GFA. Tuck-Under parking, visitor parking, access to parking or drop-off access is allowed at the grade level underneath a building or below grade. Parking is not considered a use.
20 Independent living facility	Permitted (See Note A)	Permitted (See Note B)	A) Uses 20, 22-24, 27, 28 in aggregate are limited to 4 acres south of West Nichols Street in the Harvest District. B) No maximum acre restriction in the River District.
21 Mobile homes Homes emphasizing special services, treatment or supervision	Prohibited	Prohibited	
22 Group homes for persons with disabilities	Permitted (See Note A)	Permitted (See Note B)	A) Uses 20, 22-24, 27, 28 in aggregate are limited to 4 acres south of West Nichols Street in the Harvest District. B) No maximum acre restriction in the River District.
23 Group homes for elderly	Permitted (See Note A)	Permitted (See Note B)	A) Uses 20, 22-24, 27, 28 in aggregate are limited to 4 acres south of West Nichols Street in the Harvest District. B) No maximum acre restriction in the River District.
24 Nursing home/congregate housing	Permitted (See Note A)	Permitted (See Note B)	A) Uses 20, 22-24, 27, 28 in aggregate are limited to 4 acres south of West Nichols Street in the Harvest District. B) No maximum acre restriction in the River District.



Uses

Use	Harvest District	River District	Notes & Clarifications
25 Foster care homes	Prohibited	Prohibited	
26 Group homes for children	Prohibited	Prohibited	
27 Assisted living facility	Permitted (See Note A)	Permitted (See Note B)	A) Uses 20, 22-24, 27, 28 in aggregate are limited to 4 acres south of West Nichols Street in the Harvest District. B) No maximum acre restriction in the River District.
28 Skilled nursing facility	Permitted (See Note A)	Permitted (See Note B)	A) Uses 20, 22-24, 27, 28 in aggregate are limited to 4 acres south of West Nichols Street in the Harvest District. B) No maximum acre restriction in the River District.
Miscellaneous			
29 Rooming/boarding houses	Prohibited	Prohibited	
30 Rooming/boarding, accessory to residential occupancy of a dwelling	Prohibited	Prohibited	
31 Tourist homes and other temporary residences renting by the day or week	Permitted (See Note)	Permitted	Permitted above the first floor only.
32 Hotels and motels	Permitted	Permitted	
33 Sorority/fraternity houses	Prohibited	Prohibited	
34 Dwelling units located in the same structure as a non-residential use	Permitted	Permitted	
Garage Sales			
35 Office, Clerical and Services Not Related to Goods or Merchandise	Prohibited	Prohibited	
Medical, dental or other health related offices:			
36 Individual Offices	Permitted	Prohibited	
37 Buildings of Not More Than 10,000 Square Feet	Permitted	Prohibited	
38 Buildings in Excess of 10,000 Square Feet	Permitted	Prohibited	
39 Pharmacies	Permitted	Prohibited	
40 Administrative and Executive, Business and Professional General Offices	Permitted	Prohibited	
41 Financial Services Such as Banks, Savings & Loans and Brokerages	Permitted	Prohibited	
42 Financial services, such as banks, savings and loans and brokerages that feature drive-up or drive-through services	Permitted	Prohibited	
43 Studios for Professional Work	Permitted	Prohibited	
44 Ambulance Facilities	Permitted	Prohibited	
45 Industrial Temporary Labor Halls	Prohibited	Prohibited	
Restaurants/Food Service			
46 Service within enclosed area under roof without drive-through facility	Permitted	Prohibited	
47 Service within enclosed area under roof with drive-through facility	Permitted (See Note)	Prohibited	Refer also to the notes below for drive-through uses:
48 Takeout and delivery (principal use)	Permitted	Prohibited	
49 Takeout and delivery (accessory use)	Permitted	Prohibited	
50 Automotive curbside service	Permitted	Prohibited	
51 Cafeteria, providing service to onsite employees	Permitted	Permitted	
Sales, Rental and Service of Goods, Merchandise, and Equipment Not Including Motor Vehicle and Business Type Services			
Direct sales, service and rentals to general public:			
52 General merchandise	Permitted	Prohibited	
53 Pawnshops	Prohibited	Prohibited	
54 Wholesale sales and distribution to retailers/businesses	Permitted	Prohibited	
55 Cleaning/laundry operations, within enclosed structure, serving general public	Permitted	Prohibited	
56 Open air/lea markets	Temporary (See Note)	Prohibited	Permitted on a temporary basis only.
Parking Structures/Storage			
57 Automobile parking garages/lots	Permitted	Permitted	
58 Outdoor storage / mini-warehousing	Prohibited	Prohibited	
59 Off site commercial employee/customer parking on residential zoned property	Prohibited	Prohibited	
Research & Development			
60 Laboratory, medical, dental and optical	Permitted	Prohibited	
61 General research and development	Permitted	Permitted	
Motor Vehicle Related Sales & Service Operations			
62 Sales of automobiles by licensed dealers	Prohibited	Prohibited	
63 Sales of new automobiles	Prohibited	Prohibited	
64 Sales, leasing, rental or pawning of used motor vehicles	Prohibited	Prohibited	
65 Sales of Gasoline	Permitted (See Note)	Prohibited	South of West Nichols Street only with a maximum of 24 pumps.
66 Sales of automobile parts, not including wrecking yard operations	Permitted	Prohibited	
Automobile services, not including junk or wrecking yard operations			
67 Services related to the installation of accessories including car stereos, window tinting, etc. and not including services related to mechanical, electrical or body repair	Permitted	Prohibited	
68 Services related to cleaning (e.g., car washes), mechanical (e.g., engine steering, drive train, tires, brakes) and body repair	Permitted	Prohibited	Car washes are only allowed as an accessory use in the Harvest District.
Recreation, Amusements & Entertainment			
Activity conducted within fully enclosed structure			
69 Bowling alleys, ice skating and roller skating	Permitted	Prohibited	
70 Movie theaters/theaters	Permitted	Prohibited	
71 Teen club	Permitted	Prohibited	

Second Amendment to Santa Fe Park Planned Development Plan (RiverPark)

A parcel of land located in the Northwest Quarter of Section 32, Township 5 South, Case # APD18-0004 Range 68 West of the Sixth Principal Meridian, City of Littleton, County of Arapahoe, State of Colorado



Uses

Use	Harvest District	River District	Notes & Clarifications
72	Adult entertainment	Prohibited	
73	Indoor amusements, not included in 11.11	Permitted	
74	Health/recreation clubs	Permitted	
75	Tattoo parlors and body arts studios	Prohibited	
76	Indoor shooting range	Prohibited	
77	Activity conducted primarily outside enclosed structure	Permitted (See Note)	Permitted (See Note)
78	Outdoor shooting range	Prohibited	An example of an activity conducted outside an enclosed structure would be an exercise class, dog training, activities within a park, public gatherings and temporary markets.
79	Library, reading room (private)	Permitted	
80	KJ track betting	Permitted	
Liquor Licensed Premises			
81	Bars & Taverns	Permitted	
82	Nightclubs	Permitted	
Manufacturing Including Processing, Creating, Repairing, Renovating, Painting, Cleaning and Assembly of Goods, Merchandise & Equipment			
83	Commercial cleaning/laundry operations	Permitted (See Note)	On-site dry cleaning processing is prohibited
84	Assembly of prefabricated parts	Prohibited	
85	Assembly or fabrication for sale on premises only	Prohibited	
86	Fabrication by stamping, cutting or otherwise shaping processed materials into useful products	Prohibited	
Refining or initial processing of basic raw materials			
87	Other than products related to mining or quarrying operations, petroleum and chemicals, alcohol distillation excepting distilleries, animal products or byproducts, wood, rubber, metal, and gases excepting nitrogen and oxygen and similar products	Prohibited	
88	Including all other processes	Prohibited	
89	Brewery, distillery, and winery	Permitted	
90	Brewery, distillery and winery with tasting/retail sales room which meets the requirements of Section 10-4-16 of this title.	Permitted	
Institutions			
Education			
91	College/University, private	Permitted	
92	Child-care center	Permitted	
93	Elementary/secondary, private	Prohibited	
94	Trade and vocational, private	Prohibited	
95	Home childcare	Prohibited	
96	Studios for teaching fine arts and martial arts	Permitted	
Religion			
97	Churches	Permitted	
98	Church facilities	Permitted	
Government facilities			
99	City owned/operated	Permitted	
100	Other than city owned/operated	Prohibited	
Institutional Residence, Care or Confinement Facilities			
101	Medical and dental outpatient facilities and hospitals	Permitted	
102	Correctional facility, other than county jail	Prohibited	
103	Monastery/Convent	Prohibited	
104	Detoxification center	Prohibited	
Social/Fraternal Clubs and Lodges, Union Halls and Similar Uses			
105		Permitted	
Miscellaneous			
Uses by temporary permit			
106	Noncommercial concrete batch plant	Prohibited	
107	Temporary building, office or yard for construction	Temporary	
108	Temporary building used as sales office	Temporary	
109	Temporary structure	Temporary	
110	Circuses/carnivals	Prohibited	
111	Home occupations	Permitted	
112	Campground and travel trailer parking	Prohibited	
113	Utility installations	Prohibited	
Commercial mobile radio service (CMRS) facilities			
114	Alternative tower structure within 2,000 foot separation requirement	Prohibited	
115	Ancillary utility structure	Permitted	
116	Antenna support structure	Prohibited	
117	Building or roof mounted CMRS facilities	Permitted	
118	CMRS collocation site	Permitted	
119	Air supported membrane structures	Prohibited	
120	Memorial services	Prohibited	
121	Cemeteries	Prohibited	
122	Mortuaries	Prohibited	
123	Crematorium	Prohibited	
124	Solid waste landfills	Prohibited	
125	Ambulance services	Prohibited	
Uses For Which The Zoning Official Is Not Able to Make a Final Determination, May Be Permitted Upon a Finding By The Director of Community Development That the Use is Similar in Character and Impact to Those Uses Specifically Permitted Within A District, When Consideration Is Given to the Goals & Policies Expressed in the Comprehensive Plan or as May Be Amended, and Traffic and Parking needs Associated with the Proposed Use			
	Permitted (See Note)	Permitted (See Note)	As may be allowed per this Amended Planned Development Plan and future Zoning Code Updates.
SPECIFIC CLARIFICATIONS			
Category	Harvest District	River District	Notes & Clarifications
A	Drive-Through Uses	Prohibited	The following drive-through uses shall be specifically allowed in the Harvest District: A grocery store or pharmacy. A coffee shop, restaurant or other similar permitted uses may have a drive-through service whether single or multiple lanes; the number of drive-through uses within RiverPark shall be limited to three (3) except a fourth (4th) drive-through use shall be allowed for a full service sit-down restaurant only. Only one (1) of the drive-through uses can be a financial institution/bank.
B	Distribution Warehouse	Prohibited	Distribution warehouses are permitted if either 1) less than 50,000sf or 2) ancillary to a retail operation.
C	Fitness Center	Permitted	
D	Grocery Store	Prohibited	

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Development Criteria

Development Standard	Harvest District	River District
Development Criteria Table	The following table identifies the specific design standards that future RiverPark development must comply with. These design standards amend other planning/zoning requirements specific to this site and may be relied upon by the Owner/Developer of RiverPark. This Amended Planned Development Plan also incorporates by reference the RiverPark Design Standards dated 10/09/20 as a part of this Amendment.	
Design Guidelines (To provide design excellence over all uses)	All Site Development Plan applications require Design Review approval from the Master Developer as identified in the Design Standards prior to submittal to the City.	
Site Coverage and Density (To provide a consistent level of open space appropriate to the RiverPark development vision)	25% on an overall per District basis. A single lot development may be approved prior to the approval of an SDP for an entire District in which case the single lot development shall have a minimum of 25% open space. A single lot development shall not be required to have 25% open space if an approved SDP for the entire District provides a minimum of 25% open space.	
Open Space	Open space includes all site areas excluding building foundation footprints and parking area and drive aisles. Sidewalks, plaza's landscaping, the drainage area along West Mineral Avenue, parking lot landscaped islands and parking lot pedestrian pathways, outdoor porches and patios are included within the open space requirement. The 25% standard applies to all uses allowed at RiverPark including attached single-family dwelling units (townhomes/rowhomes).	
Minimum Landscape Coverage	15% on an overall basis of lot area of the Harvest District north of West Nichols Street and the lot area of the Harvest District south of West Nichols Street.	20% on an overall basis of lot area of the River District west of South Platte River Parkway.
Setbacks from ROW	Landscape coverage is sod, beds, planters and other non-hardscaped areas. Buildings shall be setback a minimum of 5' 0" from the ROW. Setbacks do not include overhangs, projecting signs, balconies, canopies, awnings and other similar building elements, all of which may abut to the property line but not encroach into the ROW. Refer also to the street cross sections for additional information.	
Building Setbacks for Planning Area Boundaries	Setbacks encourage, but do not require, building to street edges:	
South Santa Fe Drive	30'	N/A
West Mineral Avenue	95'	95'
South Platte River Parkway	5'	5'
West Nichols Street	5'	N/A (Private Street within River District)
South Property Line	5'	25'
West Property Line at River District	N/A	The west property line of the River District shall have a landscaped buffer area with the following minimum attributes: Average buffer width of 50' (may be greater, may be less, but must average 50' in width across the entire west property line). Average buffer width may only utilize the westernmost 50' of the drainage area along West Mineral Avenue to calculate the 50 foot average buffer width. No structures can exist within the 50' buffer area, only surface parking and landscaping. Minimum 50' building setback. Minimum 30' parking setback.
Property Line Internal to Planning Area	0'	0'
Parking and Drive Aisle Setbacks for Planning Area Boundaries	Drive aisles include drive-through lanes:	
South Santa Fe Drive	30'	N/A
West Mineral Avenue	95'	95'
South Platte River Parkway	10'	10'
West Nichols Street	10'	N/A (Private Street within River District)
South Property Line	25'	25'
West Property Line at River District	N/A	30' Minimum, 50' Average.
Property Line Internal to Planning Area	0'	0'
Orientation	Buildings are encouraged, but not required, to orient towards streets or public plazas where applicable. The primary streets for building orientation are South Platte River Parkway and West Nichols Avenue.	
FAR/Maximum Building Coverage	0.40	
Maximum Commercial FAR (Excluding Residential)	0.40	
Maximum Dwelling Units/Acre	35 (Only allowed above the ground floor)	
Maximum Beds/Acre (Assisted Living/Care)	65 (Up to 4 acres maximum)	
Vertically Mixed Use Buildings	In vertically mixed use buildings, both commercial uses AND dwelling units shall be allowed per the criteria identified herein with an increased FAR of 0.60.	
Building Heights	60'	
Maximum Height	60'	
Minimum Parking Requirements (To provide adequate, but not excessive, parking appropriate to the uses)	For a non-mixed use residential only project, a minimum parking count of 1.5 space per unit shall be provided. For residential units within 1/2 mile (measured from the platform to the unit on a walking route) of the RTD Mineral Light Rail Station, parking may be provided at 1 space per unit.	
Senior/Assisted Living/Independent Living	For a stand alone or mixed-use senior living project, a minimum parking count of 0.5 space per bed/bedroom shall be provided.	
Mixed-Use	For a mixed-use building, parking shall be provided as required for uses identified herein.	
Shared Parking Allowed	Shared parking shall be allowed to minimize the parking required by any set of uses within any Planning Area. A shared parking analysis shall be provided by property owner at time of final Site Development Plan identifying the uses and sharing provided using the methodologies published in the Urban Land Institute's 2005 Second Edition of Shared Parking. Shared parking standards shall not reduce the minimum parking requirements of this PD Amendment.	
Maximum Commercial Parking	For office and retail users, there shall be a maximum parking ratio of 5/1,000 GSF, and there shall be a maximum parking ratio of 12/1,000 GSF for restaurant, fitness, entertainment or other commercial uses unless additional is approved by the Director of Community Development.	
Roadway Design Standards (To encourage a pedestrian-oriented streetscape)	Amenity Zone/Tree Lawns There shall be an amenity zone and tree lawn along both sides of South Platte River Parkway as defined herein (see Street Sections). Street Trees 30'-0" OC minimum to 40'-0" OC maximum.	
Parking Lot Design Standards (To allow for smaller and more efficient parking areas and design flexibility)	Parking Lot Separation Parking lot size shall not exceed five double-loaded parking drive aisles between landscaped areas or 300 feet (5 X 60'). Landscaped areas separating parking lot areas shall be a minimum of 10'-0" wide. See Design Standards for an illustrative example. Parking Lot Landscaping A maximum run of 20 parking spaces shall be allowed between landscaped islands. Landscaped islands shall be a minimum of 8' wide (9' wide including curbs). The maximum parking area without landscaping shall be limited to 200 spaces. Landscaped islands within parking areas (not the perimeter landscaping) may use pavers or gravel fines much for softscaped areas for high-traffic durability and maintenance reasons. Xeriscape landscaping, such as ornamental grasses, may be used in lieu of irrigated sod. Islands shall include a minimum of two shade trees. See Design Standards for an illustrative example. Pedestrian Pathways Where parking lot landscaping is required for parking lots exceeding 200 spaces AND a perpendicular pedestrian connection is provided, a 5' wide concrete sidewalk and adjacent 3' wide landscaped area shall be provided in the islands. See Design Standards for an illustrative example.	
Vehicular Connectivity (To provide a balance between traffic circulation needs and walkable streetscapes)	Access Points Access points from public streets should be shared between uses or parcels within each development area.	
Public Street Design	South Platte River Parkway and West Nichols Street shall have a right-of-way dedicated to the City of Littleton. The section of South Platte River Parkway right of way north of West Nichols Street will increase in width to transition to match the existing South Platte River Parkway at West Mineral Drive. See also Street Sections.	
Private Roadway/Drive Design	Private drives shall be a minimum of 24' wide for two-way traffic.	



Development Criteria

Development Standard	Harvest District	River District
Pedestrian Connectivity (To provide connectivity between uses internal to the site and connections to surrounding properties)	Sidewalks shall be constructed of concrete throughout RiverPark.	
Sidewalk Requirements	A 6'-0" wide sidewalk connection shall be provided from the South Santa Fe Drive and West Mineral Avenue intersection to the existing bus stop on South Santa Fe Drive.	
South Santa Fe Drive	N/A	N/A
West Mineral Avenue	10' Wide detached	10' Wide detached
South Platte River Parkway	Sidewalks along South Platte River Parkway shall be extended to the south property line for future extension by the adjacent property owner. Within the Mineral Avenue Drainage Tract: 12' wide path + 4' buffer South of Mineral Avenue Drainage Tract to South Property Line: 12' wide detached shared-use (pedestrians and bicycles).	Within the Mineral Avenue Drainage Tract: 6' wide path + 4' buffer South of Mineral Avenue Drainage Tract to South Property Line: 6' Wide detached
West Nichols Street	West of Private Access Drive: 8' Wide detached on each side East of Private Access Drive: 5' Wide detached extending to South Santa Fe Drive on each side	N/A N/A
Internal to Planning Area	5' Wide attached/detached	
Trail Connection	N/A	10' Wide meandering walk within buffer zone along the western property line.
Parking Areas (To provide smaller and more efficient parking areas)	Vehicular Parking Standards Parking Stall Sizes (Standard) 9' W X 18' L (Internal) or 9' X 17' (Perimeter Landscaped) Parking Stall Sizes (Compact) 8' W X 15' L (Internal and perimeter) Two-Way Parking Lot Drive Aisles 24' Wide for perpendicular parking. Allows for double-loaded parking trays at 60' on center whether open/structured parking.	
Site Improvements (To provide a consistent level of ground level improvements across the site)	Service and Loading Areas Trash dumpsters shall be screened with solid materials compatible with the design materials of the building it serves a minimum of 10' in height. Screen Walls Screen walls shall be a minimum of 6' high or higher as required to fully screen equipment or utilities. Low Walls Low walls shall be a minimum of 2'-0" high and a maximum of 5'-0" high and as required to meet State of Colorado licensing guidelines at Memory Care Gardens. Fencing Fencing design types and materials may vary but shall not exceed 6' high. The fence along the west property line shall be a three rail fence with 4" X 4" posts at 8'-0" on center.	
Site/Retaining Walls	Site retaining walls may be constructed of a variety of structurally suitable materials but shall have the appearance of brick masonry, modular CMU or stone. Retaining walls shall not exceed 8' in height unless separated by a horizontally oriented shelf a minimum of 4' wide except for (A) the headwalls at crossings over the West Mineral Avenue drainage channel and (B) the west wall adjacent to South Platte Park along South Platte River Parkway (height to be determined by the final roadway design of South Platte River Parkway and the final site-specific design for the development parcel located between South Platte River Parkway and the western property boundary of the project).	
Gathering Areas	Each district shall incorporate 16,000 GSF of gathering area in aggregate. The gathering areas may be broken down into multiple areas, but any single gathering area shall not be less than 2,500 SF. Gathering areas include plazas, widened sidewalks, paseos, pools, courtyards, playgrounds, dog park and other similar spaces/amenities. The landscaped buffer on the west property line qualifies as a gathering area. Hardscaped areas (plazas) shall include a minimum of 1 tree per 1,250 SF of area. The River District shall include a dog park amenity.	
Landscaping (To provide a landscape bridging a more manicured landscape design of an urban environment with the native landscaping of South Platte Park/the South Platte River corridor)	Tree Requirements for Softscape Areas (Excludes plazas, fountains, sidewalks and other surface amenities) A minimum of 1 tree and 6 shrubs per 1,250 SF of softscaped area. Tree Size Standards Street tree selections in public right of ways shall conform to the City of Littleton Landscape Design Criteria Manual (10-5-7). Deciduous Trees 2" Caliper minimum Ornamental Trees 2" Caliper minimum Evergreen/Coniferous Trees 6' Tall minimum Shrub & Groundcover Sizes Shrubs #5 Container minimum Vines, Perennials, Annuals Ornamental #1 Container minimum Grasses and Mass GroundCovers Landscape Design Masterplan Applicant shall provide a Landscape Design Masterplan at the time of the initial final site plan.	
Architectural Form (To provide buildings that have form and interest)	Roof Forms Both flat roofs and sloped roofs are allowed. A variety of roof forms that are compatible may be used. Sloped roofs may not have ridges exceeding 95' without a roof form break (such as gables, dormers, towers, cupolas or other architectural features). Roofs with rooftop mounted equipment shall have all equipment screened to the top of the units. Rooftop screening may use metal panels, stucco or other lighter weight materials compatible with the building materials. Overhangs Overhangs may not extend over the property line. Overhangs may encroach over the setback line.	
Architectural Detailing (To provide a consistently high quality of architecture)	Building Transparency (Applicable to commercial uses and the ground floor of commercial/mixed-use buildings only) (Not applicable to residential uses for privacy reasons) For Anchor Tenants over 10,000 SF, ground floor building transparency (0 to 8' high) shall be provided on at least one building facade. For non-anchor buildings, ground floor building transparency (0-8' high) may be graduated based upon the building facade with front facades at 65% transparent and side facades at 35% transparent. Rear facades have no transparency requirement. All transparency shall be provided by glazed openings a minimum of 5' in height. Glazed areas may be transparent, opaque (back-painted glass) or have graphics. Building recesses, opaque or back-painted glass, wall murals or graphics, changes in patterns of siding materials and other similar architectural expressions may be used in lieu of transparency requirements.	
Building Facades	Building facades exceeding 65' in length shall incorporate a minimum 1 foot horizontal break in building massing extending vertically through the building or shall have a material or color change.	
Building Materials	Each building facade shall incorporate at least three building material types including a primary material and secondary materials. Primary and secondary building materials include, but are not limited to, stone, masonry, stucco, wood, metal, fiber cement siding/panels and glazing.	
Building Articulation	Front facades of buildings without overhanging roofs shall incorporate at least one of the following elements to break a building mass to pedestrian scale: Awning, canopy (open or closed), window projections (bay windows), recessed walls (either glazed or opaque) and other similar architectural elements.	
Lighting (To allow for adequate lighting needs for safety while minimizing the number of light poles and limiting undesirable light transmission)	Street Lighting Street light poles or luminaires shall be a maximum of 30' in height. Parking Lot Lighting Parking lot light poles or luminaires shall be a maximum of 25' in height. Pedestrian Lighting Pedestrian light poles or luminaires shall be a maximum of 14' in height. Site Lighting Plans A site lighting plan shall be submitted with each final Site Development Plan submittal.	
Signage (To provide a unified sign program appropriate to size and scale of the development)	Signage Refer to the Design Standards for specific information related to signage.	

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